



# City of Burlingame

BURLINGAME CITY HALL  
501 PRIMROSE ROAD  
BURLINGAME, CA 94010

## Meeting Minutes Planning Commission

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Monday, July 12, 2021

6:00 PM

Online

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- e. 123-135 Primrose Road, zoned HMU - Application for Design Review, Special Permit for height, and Lot Combination and Tentative Parcel Map for a new 14-unit multi-family residential apartment building. (Abha Nehru, Carrasco and Associates, applicant and architect; Albert and Theresa Wong, property owners) (252 noticed) Staff Contact: Erika Lewit

**Attachments:** [123-135 Primrose Rd - Staff Report](#)  
[123-135 Primrose Rd - Attachments](#)  
[123-135 Primrose Rd - Plans](#)

*All Commissioners have visited the project site. Planning Manager Hurin provided an overview of the staff report.*

*Acting Chair Larios opened the public hearing.*

*Vierra Wong and Abha Neru, represented the applicant and answered questions about the application.*

*Public Comments:*

*> Shannon Chircop, 119 Primrose Road, Unit 1: Am part of the Primrose Gardens Homeowners Association. When you look at the renderings, that's my living room and bedroom depicted to the left-hand side. The Planning Manager is going to read something out loud so I won't exhaust this by repeating everything. I wanted emphasize that I don't think the renderings fairly portray how we access the front entrances to our homes. When you're looking at the development to the left, there's a four-foot wide flagstone walkway where we access our mailboxes. There's a cute brick archway where we go through, that's how we get to our front doors. Those are our living rooms and bedrooms and we'd be facing directly at the development. It's not to the side or skewed, we look directly at this development. I wanted to explain that because the sight lines are important to us. We certainly won't see any blue sky anymore when we look out of our windows because this building is very tall. We ask that you think about the cohesiveness, the massing, sight lines and the privacy. The shadow study is released and I wanted to express that we're alarmed that it's going to have a negative impact on our quality of living, also the value of our townhomes.*

*> Public comment email received from the Primrose Gardens Homeowners Association, 119 Primrose Road: This comment is on behalf of the homeowners that make up the six families that make up the Primrose Gardens HOA, the six unit town home building next door to the proposed development. We publicly ask when the Planning Commission and the developer examines this application that they take into consideration our privacy, the height, and the massing of the building. We have written our concerns to the Planning Commission and want to use this opportunity to emphasize those concerns to the public. You can see from the renderings our little building to the left. Our townhomes are oriented so that our front doors are facing the new development. The walkway that leads to our front doors run the length of the property line between our homes and the adjacent property where the proposed development is. This is something that is not shown or obvious in the renderings. Regarding privacy, we'd like to have a better understanding of sight lines from those indoor/outdoor living spaces into our bedrooms and living rooms. Some of our units have skylights mounted on the pitched roof and it will give the neighboring development a bird eyes view of our bedrooms and bathrooms. Can those balconies be shifted to avoid infringing on*

our privacy? Maybe more creative screening on the balconies? We would like a high attractive good neighbor fence and lush planting to create some nice separation at the ground floor. We would like to see more detail in the landscape and fencing. Regarding height, is the 55-foot height necessary and cohesive with the rest of the block? Our parcels are already at its highest use and will not be redeveloped to be higher. Our quaint two-story homes will forever be dwarfed by this proposed building. The shadow study should be carefully considered as a part of the environmental study because we're concerned most of our daylight will be taken away with such extreme height. Certainly, there will be no more sunsets and more views of the church people or trees swaying along the street. Townhomes share sidewalls so we rely on this side of this building facing the development for sunlight through our windows. Regarding massing of the building, please consider the massing of the building toward our property other than this boxy mess. There's a better way to create the scales of the building. This is because our residences face directly at the new development, not to the side, not at an angle. Thank you for your careful consideration of our quality of life as next door neighbors.

> Jennifer Pfaff: I just have a couple of observations. I had to do a recall on why we included those three parcels in the Howard Mixed Use District. I think it had to do with their current use, which in turn changed their setbacks and also changed the height of the first floor because it was assumed back then that they would be part of the retail experience, so therefore zero setback. So it's all moot now. The sidewalk is five feet wide. My concern is that it is in your face and it is not a retail space, so it's not necessarily engaging. I like the Commissioner's suggestion about making the corner transparent. I think it's what he was saying, kind of mimicking what's above it. Maybe it's possible since this is not a retail space. It may never be a retail space. Maybe there would be a possibility because it's a residential use and we can't fiddle with the setbacks now because it has already been done. It would be nice to have a five or ten-foot setback there. Maybe we could lower the plate height on that first floor to 12 feet or whatever is reasonable rather than 15 feet. I know it's not a lot, but maybe that would help push it down at least some and make it less massive.

Acting Chair Larios closed the public hearing.

#### Commission Discussion/Direction:

> In terms of the Special Permit request for height, the project generally is lower than the height that's allowed by right which is 55 feet. We have special permitting for heights beyond that to a certain extent. The Special Permit for height goes hand in hand with the environmental scoping which in this case is the roof deck. Would like to see some analysis of potential impacts of the roof deck and any noise elements. We've had a couple of instances where we have encouraged roof decks as a benefit to the occupants which add some features to the apartment living. We've seen some that are very successful because they're in areas of multi-family housing and other areas where we have projects that about lower scale residential that make roof decks difficult. The stair and the elevator element, that break the 55-foot height, actually helps enclose those roof deck areas and articulate them a little so we don't have large areas of roof deck on a large open roof. Those two things work together and actually help each other.

> It's a well-designed building. Would like to see the owners, the architect and the developers address the issue of the first floor. If they're designing a first floor at 15 feet simply because that's what the requirements are for this area, it could help with the economics to bring down the height of those lobby spaces if they don't need to be 15 feet tall since it's not commercial space. Maybe staff could look into that and see what we could do in looking at some possibilities for a different height at that first floor.

> Suggests that the lobby and corner windows be made more inviting. I like the way that the project steps away from the project to the left and offers some relief along that side in terms of the setback and the articulation. The architecture is nice and handsome. We just have to remind ourselves of what we can consider in terms of the objective standards that we apply to the project as this moves forward towards action or any revision.

> The architect indicated there's a shadow study, would like to see that in the next go around on this project. That's something we need to consider especially with the property to the left.

> Concerned with water consumption, as with other projects where we're increasing the housing density so much on one side. Going over the floor plans, it looks like the existing building has maybe two

bathrooms and a kitchen. Now we're going to add 14 dishwashers, 14 clothes washers, 19 toilets and 19 showers, on a conservative estimate, we are adding about 30 people. We need to take a close look at how much water we're consuming on some of these projects because it is a limited resource.

> Like the design, but am concerned about the scale with the buildings to the left and right. Would like to see a simple drawing to show the scale as it fits into the street elevation.

> Like that all the active energy for this unit at the entrance is directed to the right side of the property and away from the closest residential neighbor, that's a great decision. It's oriented also toward the downtown area and that makes a lot of sense, which is a good choice. Wondering if the garage entrance could be offset to relieve the edge of that side of the property as the entrance gate of the neighbor to the left is located immediately after you pass the front face of this building. Consider a little less massing especially at this 15-foot height. If you continue to pursue that, it could be something that can be considered to soften the front edge of the building. Otherwise, the building is nicely composed. I like the material choices and the colors. I appreciate that the corners are being utilized as balconies and decks that provide a pass through in terms of space and not just a solid structure at the corner with glass or other built materials, which helps to soften a rather large mass of building. As mentioned, the elements that are up above the building height limit help to shade and articulate the space on the roof deck. That's creatively laid out to work well with those areas and are oriented towards the active side of the building to the right.

> Would like to see a noise level study included in the environmental review.

> For the applicant and architect to consider next time around, what could be used of that landscape area on the ground level at the back of the property? Is that of any use other than landscaping? Could that be a dog walk? Could it be a meditation space or just a quiet space to get away?

> One of my big concerns about the development is the busyness of Saint Catherine's on that street, the traffic of the school, dropping off and picking up. It backs up all the way down to Howard Avenue and Bayswater Avenue. Strongly suggests looking at the entrances of the garages. You're not going to get out of those garages if they're on Primrose Road during busy school time, it gets pretty congested there. Please take into consideration where the garages are and the impact of the school hours. Unfortunately, you won't be able to see the traffic now because school is not in session, but when the project returns for our review, consider the traffic at Saint Catherine's because it will impact vehicles entering and exiting the garage.

> Want to emphasize the suggestion about containing the upper deck. We have some great suggestions on how to contain that area using architectural elements.

> Understand our concerns about the rooftop deck. We do have a lot of activity on the street, between the school and Call Primrose food bank. Don't know if having a rooftop deck there would have a significant noise impact on the neighbors, but I agree that perhaps we should look at that. That area is constantly moving and there's a lot of activity going on that street. Not sure about the impact of noise, if it's setback and controlled a little bit back with some nice trees or foliage, that it might be just fine there.

**There was no motion from the Planning Commission, as this application is required to return on the Regular Action Calendar.**

**CARRASCO & ASSOCIATES**  
A R C H I T E C T S

October 18<sup>th</sup>, 2021

Erika Lewit  
Senior Planner,  
Planning Division  
City of Burlingame  
501 Primrose Road,  
Burlingame, California

**Project Address:** 123 & 135 Primrose Road

**Description:** New 4-Story, 14-Unit Residential Building and Parking Application for Multi-family Apartment Permit, Design Review, and a Special Permit for height

**Lot Area:** 10,716 SF

**Zoning:** HMU (Howard Mixed Use)

Dear Erika,

After receiving comments at the study sessions from board members & public, we have made modifications to the design to address the comments.

I have listed the changes to the design below for your reference:

- The garage gate façade has been pushed back by 4'- 1 ½" and now sits back 5 feet from front property line.
- The wall along the garage door has been reduced in length & replaced with mesh screen to allow for clearer vision when exiting the garage
- The fence at the corner of the garage (North-East) has been moved to the 5 foot setback line to allow existing plant screening to remain. The fence & gate material for the portion that encloses the first two parking spaces will be metal framing with infill mesh to match the garage door style. This will allow additional viewing angle when exiting the garage.
- The North-West corner at first floor has been revised to have corner glass window to match with the treatment at the upper floor levels.
- The height of the first floor has been reduced by 2 feet.
- Height of the trellis on the roof has been reduced to 7'-6" above roof level. The trellis will not be visible from the street as it is setback from the building edges.
- The glass guardrails at the decks will have obscure/ frosted glass to provide privacy.
- Trees along the East property line will be evergreen fast growing & mature trees that would provide adequate screening along this line. The landscape plan indicates the same. The section sheet A4.1 shows the how the adjacent building & court at first floor would be screened by the trees along the Eastern boundary line.
- As requested by the neighbors the existing bushes along the first 20 feet of the shared East property line will be saved. This is the reason why the fence & gate line has been shifted inwards at East corner.
- A small area in the rear landscape will designed for quiet reflection.
- Shadow study has been included with this submittal. There would be little impact on the residential neighbor on the East side from shadows cast by the new development. The shadow of the building will fall on the West side neighbors-Church property.



- Renderings have been revised. The utility poles are not shown as these would be required to be undergrounded during construction.
- Neighborhood Context sheet A0.2 has been updated to show the street images across the proposed property. A street elevation has been added to show outline of adjacent properties. In plans the outline of adjacent properties were shown previously as well. The location map on sheet A0.2 shows outline of buildings for the entire block.
- Noise from the roof deck will be quite limited, and this would be reviewed during the CEQA review for infill exemption.
- The owners have met with the neighbors on the East side of the property & shared the revised design. The changes included reflect the additional request from the neighbors to save the existing shrubs along the East property line.

Please let me know if you have any questions.



Abha Nehru, AIA, LEED-AP  
Principal, Carrasco & Associates

**CARRASCO & ASSOCIATES**  
A R C H I T E C T S

June 14, 2023

Erika Lewit  
Senior Planner  
Planning Division  
City of Burlingame  
501 Primrose Road,  
Burlingame, California

**Project Address:** 123 & 135 Primrose Road

**Description:** New 4-Story, 14-Unit Residential Building and Parking Application for Multi-family Apartment Permit, Design Review, and a Special Permit for height

**Lot Area:** 10,716 SF

**Zoning:** HMU (Howard Mixed Use)

Dear Erika,

The owners have decided to request the implementation of AB 2097 for our project in Burlingame. The project complies with the public transport requirement for the site. See attached plans that show the distances to the public transport.

We are requesting a reduction of 3 required parking spaces. The city requirement is to provide 19 parking spaces. We are proposing to have a total of 16 spaces.

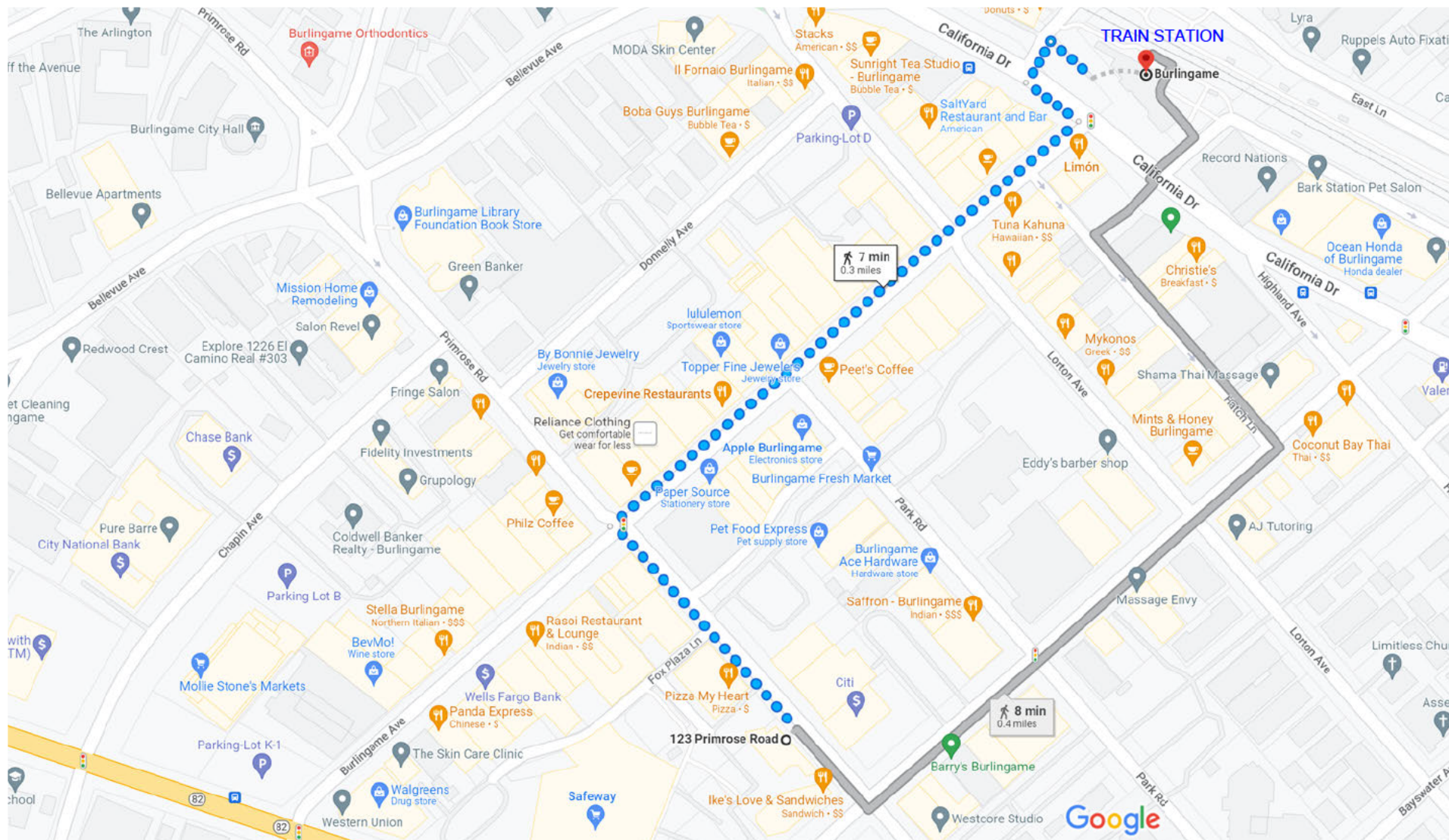
**PROPOSED WITH REDUCTION USING NEW STATE LAW AB 2097:**

7nos: 1-bedroom units will get=	7 spaces
6nos: 2-bedroom units will get=	6 spaces
1no: 3-bedroom unit will get=	2 spaces
1no.: Accessible Parking=	1 space
TOTAL	= 16 Spaces

Please let us know what other forms or paperwork is required to move this further.

Sincerely,

  
Abha Nehru, AIA, LEED-AP  
Principal, Carrasco & Associates





via Primrose Rd and Burlingame Ave

7 min  
0.3 mile

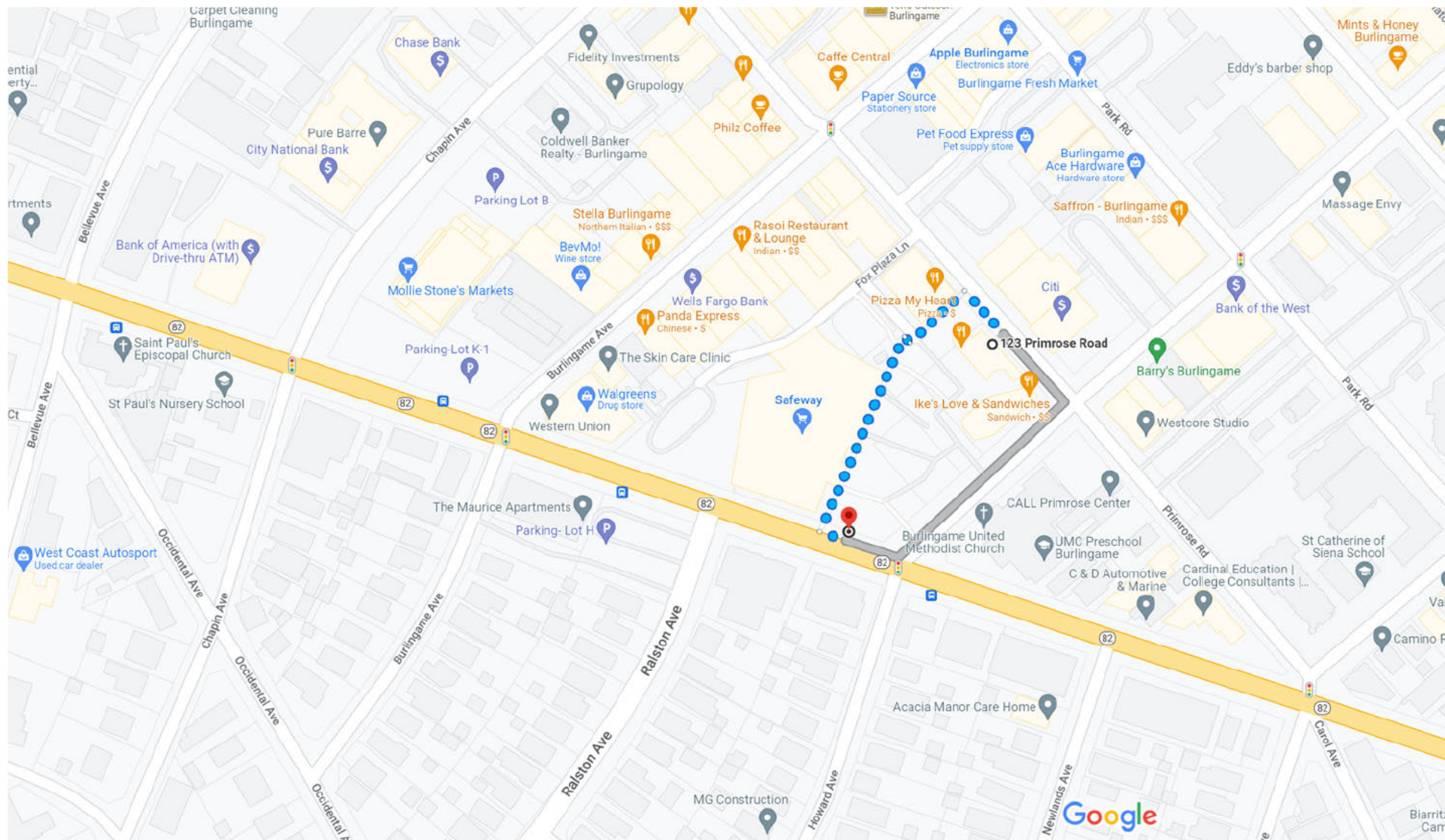


via Howard Ave

8 min  
0.4 mile

All routes are mostly flat







via Primrose Rd

3 min  
0.1 mile

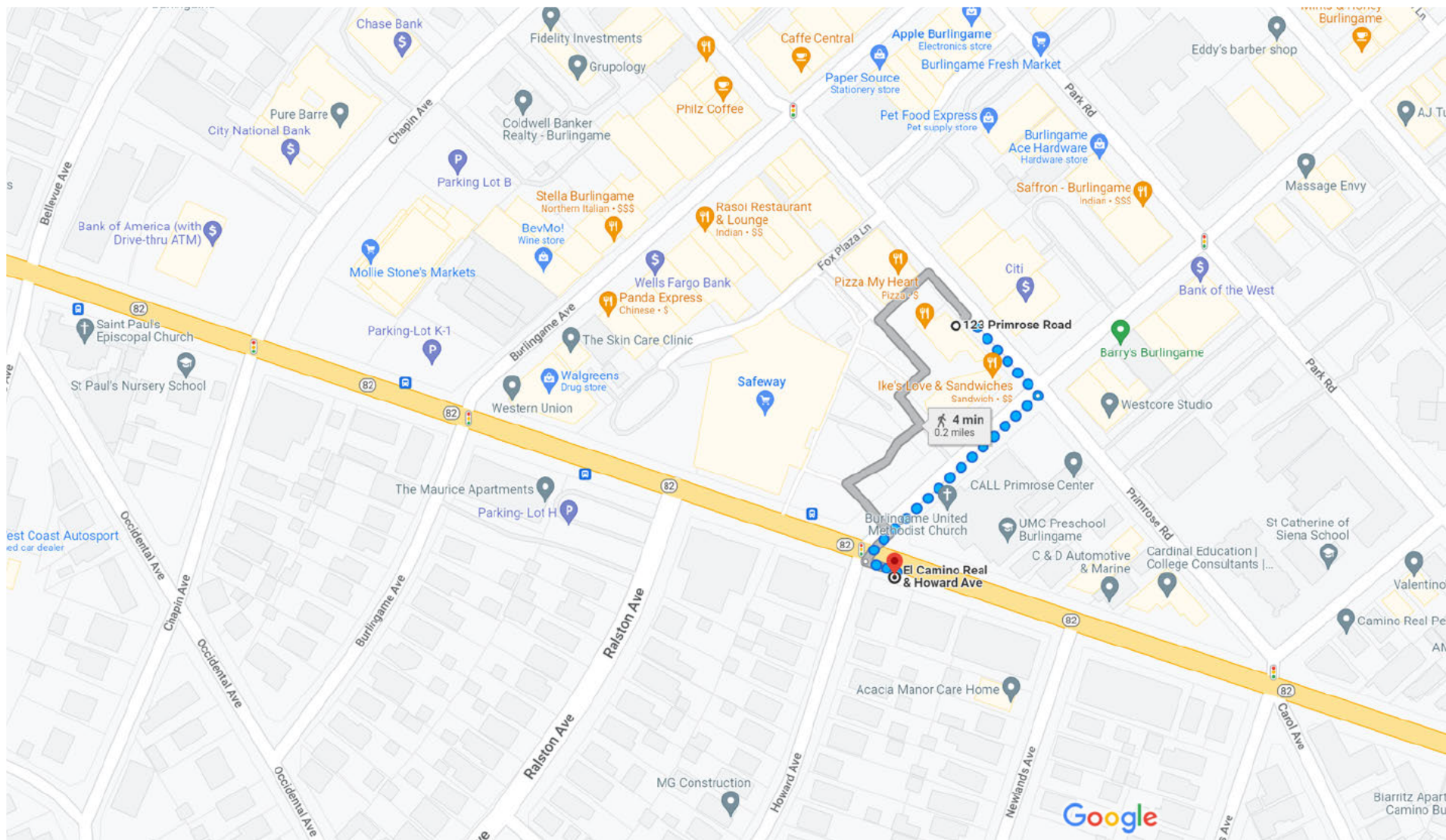


via Howard Ave

3 min  
0.1 mile

All routes are mostly flat







via Primrose Rd and Howard Ave

3 min

0.1 mile



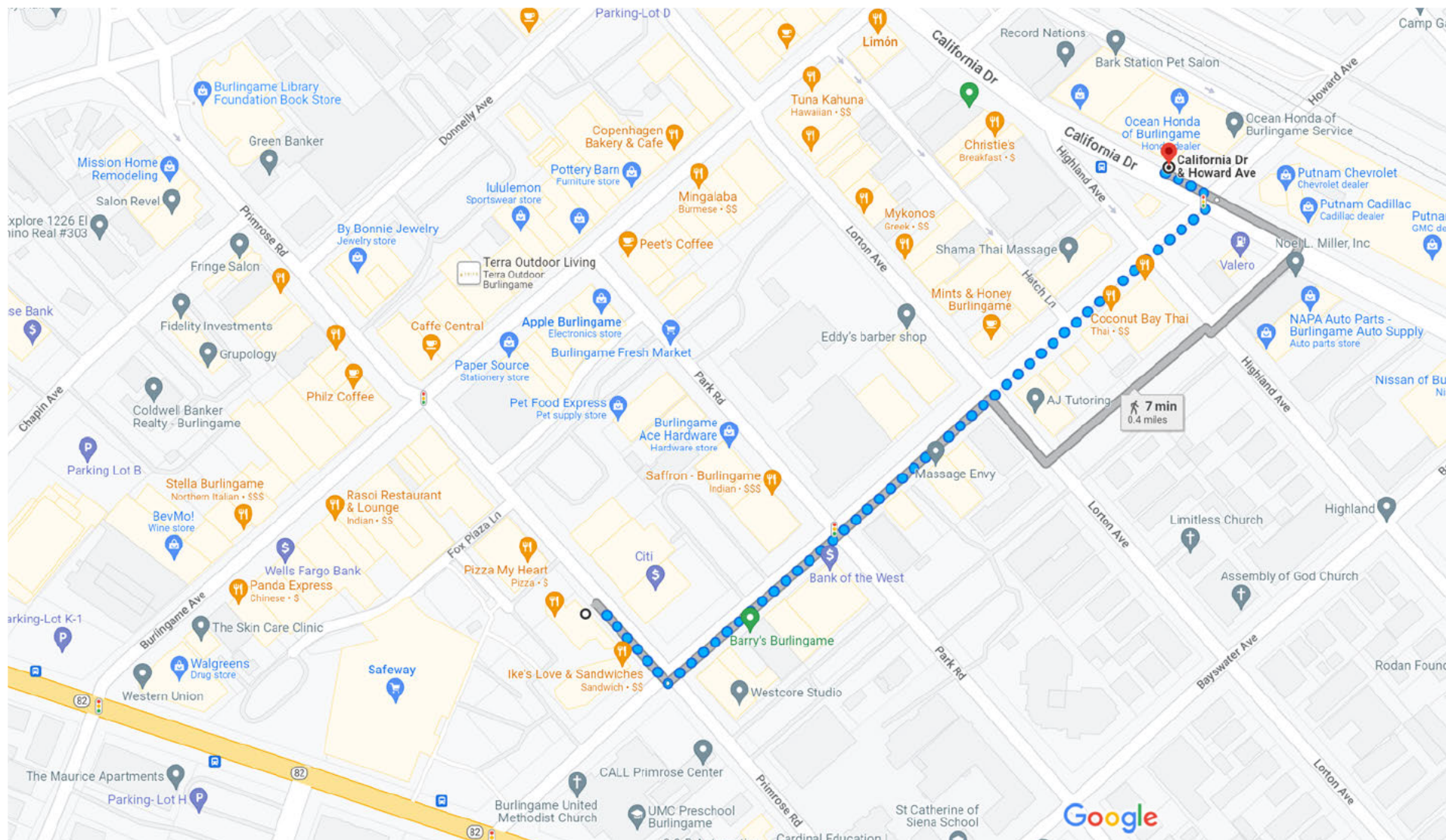
via Primrose Rd

4 min

0.2 mile

All routes are mostly flat







via Howard Ave

6 min  
0.3 mile

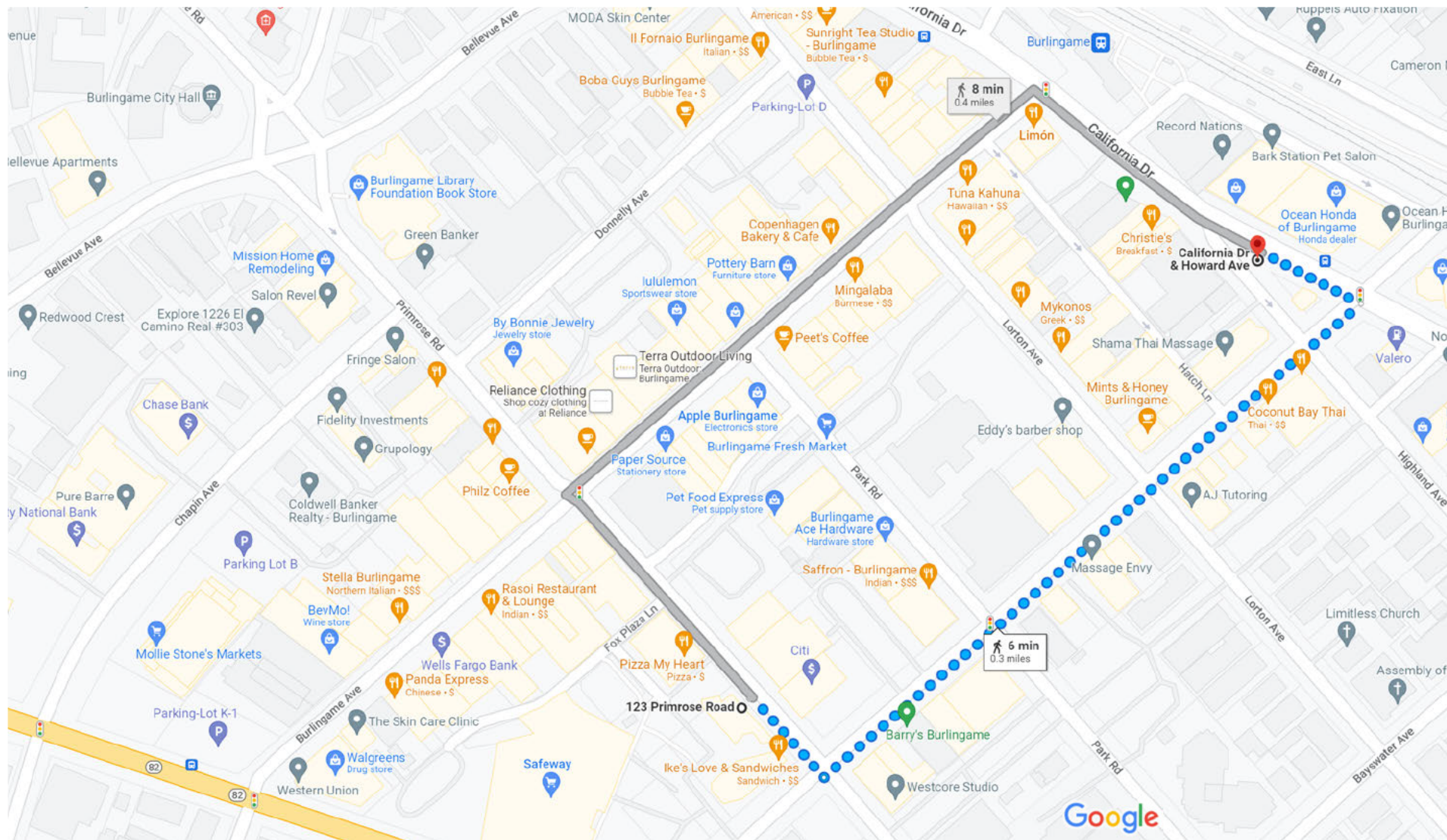


via Howard Ave and California Dr

7 min  
0.4 mile

All routes are mostly flat





via Howard Ave

6 min

0.3 mile



via Burlingame Ave

8 min  
0.4 mile

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All routes are mostly flat



COMMUNITY DEVELOPMENT DEPARTMENT • 501 PRIMROSE ROAD • BURLINGAME, CA 94010  
p: 650.558.7250 • f: 650.696.3790 • www.burlingame.org

## APPLICATION TO THE PLANNING COMMISSION

### Type of application:

☒ Design Review ☐ Variance ☐ Parcel #: 029-221-040; 029-221-050  
☐ Conditional Use Permit ☒ Special Permit ☐ Zoning / Other: HMU District

PROJECT ADDRESS: 1234135 Primrose Road

### APPLICANT

Name: Abha Nehru

Address: 1885 El Camino Real

City/State/Zip: Palo Alto, Ca 94306

Phone: 510-708-4879

E-mail: abha@carrasco.com

### PROPERTY OWNER

Name: Albert K. Wong

### ARCHITECT/DESIGNER

Name: Tony Carrasco

Address: Same as Applicant

City/State/Zip: \_\_\_\_\_

Phone: 650-455-7575

E-mail: tony@carrasco.com

Burlingame Business License #: 32481

### Authorization to Reproduce Project Plans:

I hereby grant the City of Burlingame the right to reproduce upon request and/or post plans submitted with this application on the City's website as part of the planning approval process and waive any claims against the City arising out of or related to such action. \_\_\_\_\_ (Initials of Architect/Designer)

### PROJECT DESCRIPTION:

Construction of a new four story building, with three levels of condominium units above grade level parking. An outdoor area for residents at roof level surrounded by landscaping. A total of 14 condominium units are planned, owner will retain two units for personal use.

### AFFIDAVIT/SIGNATURE

best of my knowledge

Applicant's signature

I am aware of the proper filing of this application with the Planning Commission.

Property owner's signature

information given herein is true and correct to the

Date: 9/13/2018

Applicant to submit this application to the Planning

Date: 9/7/2018

Date submitted: \_\_\_\_\_





## CITY OF BURLINGAME SPECIAL PERMIT APPLICATION

RECEIVED

DEC 10 2019

CITY OF BURLINGAME  
CDD-PLANNING DIV.

The Planning Commission is required by law to make findings as defined by the City's Ordinance (Code Section 25.50). Your answers to the following questions can assist the Planning Commission in making the decision as to whether the findings can be made for your request. Please type or write neatly in ink. Refer to the back of this form for assistance with these questions.

1. ***Explain why the blend of mass, scale and dominant structural characteristics of the new construction or addition are consistent with the existing structure's design and with the existing street and neighborhood.***

The proposed project on Primrose is located between Howard & Bayswater Avenue, where the architectural style is varied in mass, height & bulk. The project is site over two separate parcels which would be combined as part of this proposal. Currently there is a single family home on one parcel & the other parcel is vacant & is being used as a parking lot. Across from the project there is St Catherine of Siena School Property running from corner of Bayswater, Parish Center that includes a gymnasium and commercial property at the corner of Howard interspersed with parking lots and basket ball courts. Adjacent property that flank the site on the right that runs to the corner of Howard Avenue is Burlingame Methodist Church and the on the left side is a 2-story multi-family residential housing project. Past the multifamily property on this side of the street there is just one single family home with a commercial property at the corner of Bayswater Avenue. The proposed project will provide a compatible infill development with engaging street frontage, with variations in building massing using recessed balconies and variation in the setback of building blocks from the property lines.

2. ***Explain how the variety of roof line, facade, exterior finish materials and elevations of the proposed new structure or addition are consistent with the existing structure, street and neighborhood.***

The proposed project is a four story condominium project with a rooftop terrace for the use of the residents. The design of the commercial, Church & School properties along this portion of Howard street varies in color from pale whites to warm brown tones. The proposed project combines this color palette by using white & gray stucco color broken up by warm wood tones in recessed decks/balconies and the stone clad facade at the first floor provides a strong base. Use of raised planters along the West facade further enhances the design while providing shading & privacy. Proposed trees & shrubs along the East provide a green edge & needed privacy for the adjacent multi-family residents.

3. ***How will the proposed project be consistent with the residential design guidelines adopted by the city (C.S. 25.57)?***

The design of the garage entrance is flanked by a pedestrian walkway on one side delineated with a wood fence & a pedestrian entry on the other side that looks into the stairway. The awning in front of the balance of the facade adds the focus to the main building entrance. In addition proposed recessed LED lighting at the awning will highlight the main entry & lobby facade. There is rhythm created at the front facade on first floor using columns, walls and glass that is pleasing & relates to the pedestrian scale & engagement. The materials & exterior finishes have been selected keeping the neighborhood color palette & current trends in mind. Warm wood color windows add edge color to the window openings, the ceilings of the balconies facing the street continue down to the vertical sides and balance with the windows. The glass guardrails add to the connection with the street and bring the outdoors inside for the residents. Facade design is a pleasing balance of glass corners, solid walls broken with recessed stair block and recessed parapets at the roof level

4. ***Explain how the removal of any trees located within the footprint of any new structure or addition is necessary and is consistent with the city's reforestation requirements. What mitigation is proposed for the removal of any trees? Explain why this mitigation is appropriate.***

There tree within the footprint of the property that is being removed is an 8" tree on North-East Corner which is in poor condition and will be in the way of the driveway see survey. See tree inventory on landscape sheet L1.0 for frontage trees. The proposal includes planting of additional & replacement trees that would add to the reforestation efforts, provide required shading and enhance the street view. The pedestrian walkway will have an engaging facade that looks into the large lobby and be flanked by planting & street trees on the street side.

↓ See over for explanation of above questions.

SPECIAL.PERMIT.APP.FORM

P.C.  
ITEM # \_\_\_\_\_

MEMO TO : PLANNING COMMISSION

FROM: PUBLIC WORKS DEPARTMENT - ENGINEERING DIVISION

DATE: JUNE 26, 2023

SUBJECT: PARCEL MAP - LOT COMBINATION OF LOT 2-B AND 50 FEET BY 107 FEET PORTION OF LOT 3, BLOCK 2, TOWN OF BURLINGAME NO. 1 SUBDIVISION – 123-135 PRIMROSE ROAD, PM 23-01

This application is to combine two (2) existing parcels at 123-135 Primrose Road for a new four-story, 14 unit residential development. The applicant is proposing on-site improvements which requires this lot combination in order to meet the zoning code.

The map application is complete and may be recommended to the City Council for approval subject to the following conditions:

1. A final parcel map for the lot combination must be filed by the applicant within the two-year time period as allowed by the Subdivision Map Act and the City's Subdivision Ordinance.
2. The existing structure must be demolished before the map can be recorded.
3. All property corners shall be set in the field and be shown on the map.
4. The final map shall show the widths of the right-of-way for Primrose Road, Howard Avenue and El Camino Real including the centerlines of right-of-way, bearings and distances of centerline and any existing monuments in the roadway.
5. All sidewalk, curb and gutters shall be replaced with new.
6. No raised structures shall be constructed in the public right-of-way.
7. Permanent stormwater treatment measures and maintenance agreements are required. Agreements shall be recorded with the County prior to building permit sign-off.



DATE	3/4/2020
SCALE	1" = 10'
DRAWN	MN
JOB NO.	09.1770
DWG	1
SHEET	1
OF	1



**07.12.21 PC Meeting**  
**Item 9e**  
**123-135 Primrose Road**  
**Page 1 of 1**

*COMMUNICATION RECEIVED  
AFTER PREPARATION  
OF STAFF REPORT*

**RECEIVED**  
**JUL 12 2021**  
**CITY OF BURLINGAME**  
**CDD – PLANNING DIV.**

**From:** [REDACTED]  
**Sent:** Sunday, July 11, 2021 9:56 AM  
**To:** GRP-Planning Commissioners <[PlanningCommissioners@burlingame.org](mailto:PlanningCommissioners@burlingame.org)>  
**Subject:** Concerned About 123 Primrose Road

Dear Planning Commissioners,

We own [REDACTED] in Burlingame. Our home is directly adjacent to the proposed development - only feet away from the fence. ALL of our windows face the new development, our home runs the length of the fence line facing the development and we have skylights in our bedrooms and baths. This is our primary residence, along with our other neighbors [REDACTED]. We [REDACTED], we work from home (in this COVID environment) and spend a lot of time here. So, you can see why we are so concerned about the imposing height and proximity of the proposed development.

It's understandable that the City wants to promote tall buildings to establish the center of town - the epicenter of the action. We live and work in Burlingame and want to see our community thrive. Our opinion is a 55 foot building is not appropriate mid-block on Primrose Road, surrounded by a historical church and our brick-facade, two story townhomes. It is out of place. We are proponents of improving our neighborhood and this adjacent lot, but implore the Planning Commission to consider whether it is truly appropriate and beneficial to build to 55' PLUS a roof deck? We've closely watched the other condominium projects in the development pipeline within the Downtown Specific Plan and we are hard pressed to find one that dwarfs the adjacent homes like this one.

Obviously we'd like to see a shadow study, mature plantings, a good neighbor fence and a landscaping plan to help ensure our privacy. Here on our first floor of our space, we'll be staring at the parking lot and on the second floor, the new neighbors will be able to peer in from their balconies and down into our bedroom and shower from above.

We'd also like more information on how our privacy and right to quiet enjoyment will be protected during construction. How do we control vibration, dust and noise?

Finally, construction is really close to the property line, so we'd like the developer to take steps to study the safety of our building [REDACTED] and structural integrity based on the activities that would be happening next door.

Thank you for listening to our concerns and for your service to our community. We invite you to come over - swing by our home to take a look and when you do, please walk back beyond the brick archway to where our common areas and neighbors' front doors are. We can fire up the grill!

Shannon and Richard Chircop  
Owners, [REDACTED]

**07.12.21 PC Meeting**  
**Item 9e**  
**123-135 Primrose Road**  
**Page 1 of 1**

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**JUL 12 2021**  
**CITY OF BURLINGAME**  
**CDD – PLANNING DIV.**

**From:** Primrose Gardens [REDACTED]  
**Sent:** Sunday, July 11, 2021 9:01 AM  
**To:** GRP-Planning Commissioners <[PlanningCommissioners@burlingame.org](mailto:PlanningCommissioners@burlingame.org)>  
**Subject:** Comments for Consideration of 123 Primrose Redevelopment

Dear Planning Commissioners,

We ask that when you review the plans for redevelopment of 123 Primrose Road that you closely consider our privacy, the height and the massing of the building. Our HOA owns the building [REDACTED]. There are six townhome style homes on our property that each appraise for upwards of \$1.4M and serve as the primary residence for our families. Our homeowners have chosen to buy here and live here because of the quaint tudor-style building, sunny patios and connectedness to downtown. We want to see our neighborhood improved without diminishing our own investments and quality of life here in our townhomes.

You can see in the renderings our little building to the left (see "View-1 Looking West on Primrose Road" on page 3 of the plans). Our townhomes are oriented so that our front doors are facing the new development. The walkway that leads to our front doors runs the length of the property line between our homes and the adjacent property where the proposed development is. We've attached to this email a video showing how we access our homes so that you can see how this truly impacts our living quarters – something that's not evident from the renderings.

Our privacy will be greatly diminished with the development as it is currently drawn up. The renderings show balconies facing our building and we'd like to have a better understanding of sightlines from those indoor/outdoor living spaces into our bedrooms and living rooms. Some of our units have skylights mounted on a pitch roof that will give the neighboring development a bird's eye view of our beds and bathtubs. We ask for your consideration to shift those balconies to avoid infringing on our privacy or some creative screening on the balconies on the upper levels. A high, attractive good-neighbor fence and plantings would create some nice separation at the ground level. We'd like to see more detail in the landscaping and fencing.

We ask for consideration for the massing of the building towards our property to be examined to see if rather than a "boxy" mass, is there some way to create better transition between the scales of the building. A shadow study should be carefully considered as part of the environmental study because we're concerned most of our daylighting will be taken away with such extreme height. Certainly there will be no more sunsets, no more views of the church steeple or the swaying eucalyptus trees on El Camino. Townhomes share side walls, so we rely on this side of the building facing the development for sunlight through our windows. Please closely consider whether the massive height is cohesive with the rest of the block. The proposed 55' structure would be as high as the church steeples and double the height of our roof! A 35' structure would be much more appropriate given the surrounding buildings.

Thank you for your careful consideration of our concerns.

The Primrose Gardens Homeowners Association

[REDACTED], Burlingame

on behalf of the Chircop Family, the Ko Family, the Yao Family, the Ungar Family, the De La Rosa Family and the Castillo Family.

**07.12.21 PC Meeting**  
**Item 9e**  
**123-135 Primrose Road**  
**Page 1 of 1**

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CITY OF BURLINGAME  
CDD – PLANNING DIV.

**From:** Audrey Guo [REDACTED]  
**Sent:** Saturday, July 10, 2021 4:36 PM  
**To:** GRP-Planning Commissioners <[PlanningCommissioners@burlingame.org](mailto:PlanningCommissioners@burlingame.org)>  
**Subject:** Comment on 123 Primrose Road Project

Dear Planning Commission,

My husband and I reside [REDACTED]. We are in support of redeveloping the 123-125 Primrose lot, but are concerned about the size of the proposed building.

At 55', the building will dwarf our own complex, and will also be significantly taller than the other buildings on our block. We are worried that the height, combined with the close proximity to the edge of the property line, will block out a significant amount of the sunlight we currently get in our unit, which is directly facing the lot.

Additionally, our master bedroom and balcony currently face the proposed development, and we are concerned about loss of privacy as the current renderings show multiple units with balconies/windows that may be able to look directly into our bedroom.

Thank you for your consideration.

Audrey Guo  
[REDACTED]

**07.12.21 PC Meeting**  
**Item 9e**  
**123-135 Primrose Road**  
**Page 1 of 1**

*COMMUNICATION RECEIVED  
AFTER PREPARATION  
OF STAFF REPORT*

**RECEIVED**  
JUL 12 2021  
CITY OF BURLINGAME  
CDD – PLANNING DIV.

**From:** Rosa de la Rosa [REDACTED]  
**Sent:** Friday, July 9, 2021 5:49 PM  
**To:** GRP-Planning Commissioners <[PlanningCommissioners@burlingame.org](mailto:PlanningCommissioners@burlingame.org)>  
**Subject:** 123 Primrose Road

I would like to voice my objection to the plans to build a 4-story building that will exceed the 55' height limit on this site. I live [REDACTED] which is a two-story structure. As you can see, all the six residents at [REDACTED] will be giving up a lot of natural light, breeze and privacy if this is allowed to happen.

Please reconsider the plans and ask the developer to stick to the 55' height limit.

Thank you.

Rosa B. de la Rosa  
[REDACTED]

**07.12.21 PC Meeting**  
**Item 9e**  
**123-135 Primrose Road**  
**Page 1 of 8**

*COMMUNICATION RECEIVED  
AFTER PREPARATION  
OF STAFF REPORT*

**RECEIVED**

JUL 12 2021  
CITY OF BURLINGAME  
CDD – PLANNING DIV.

**From:** Primrose Gardens [REDACTED]  
**Sent:** Monday, July 12, 2021 11:34 AM  
**To:** CD/PLG-Ruben Hurin <[RHurin@burlingame.org](mailto:RHurin@burlingame.org)>  
**Subject:** Re: Comments for Consideration of 123 Primrose Redevelopment

Ruben,

They were movie files showing how the townhome front doors are accessed from the side of the lot. We didn't feel that was fairly depicted in the applications renderings. Attached are still photos - we hope this is sufficient to illustrate the view from our front doors, bedrooms and living rooms (facing directly at the development; not Primrose Road).

Thank you,

Primrose Gardens HOA























On Jul 12, 2021, at 9:19 AM, CD/PLG-Ruben Hurin <[RHurin@burlingame.org](mailto:RHurin@burlingame.org)> wrote:

Dear Primrose Gardens Homeowners Association,

Thank you for your email regarding the proposed project at 123-135 Primrose Road, Burlingame. Your email will be added to the record for the project.

Please note that there were two attachments included in your email. We were not able to open these attachments. Are these image files or movie files? Please note that we will not be able to include any movie files as attachments. If these are images, you may want to consider resending them in a different file format (e.g., with .jpeg, .jpg or .png file extensions).

Best,

Ruben

**Ruben Hurin**

**Planning Manager**

City of Burlingame

Community Development Department – Planning Division

Tel. 650.558.7256 | [rhurin@burlingame.org](mailto:rhurin@burlingame.org)

**07.12.21 PC Meeting**  
**Item 9e**  
**123-135 Primrose Road**  
**Page 8 of 8**

**From:** Primrose Gardens [REDACTED]  
**Sent:** Sunday, July 11, 2021 9:01 AM  
**To:** GRP-Planning Commissioners <[PlanningCommissioners@burlingame.org](mailto:PlanningCommissioners@burlingame.org)>  
**Subject:** Comments for Consideration of 123 Primrose Redevelopment

Dear Planning Commissioners,

We ask that when you review the plans for redevelopment of 123 Primrose Road that you closely consider our privacy, the height and the massing of the building. Our HOA owns the building [REDACTED]. There are six townhome style homes on our property that each appraise for upwards of \$1.4M and serve as the primary residence for our families. Our homeowners have chosen to buy here and live here because of the quaint tudor-style building, sunny patios and connectedness to downtown. We want to see our neighborhood improved without diminishing our own investments and quality of life here in our townhomes.

You can see in the renderings our little building to the left (see "View-1 Looking West on Primrose Road" on page 3 of the plans). Our townhomes are oriented so that our front doors are facing the new development. The walkway that leads to our front doors runs the length of the property line between our homes and the adjacent property where the proposed development is. We've attached to this email a video showing how we access our homes so that you can see how this truly impacts our living quarters – something that's not evident from the renderings.

Our privacy will be greatly diminished with the development as it is currently drawn up. The renderings show balconies facing our building and we'd like to have a better understanding of sightlines from those indoor/outdoor living spaces into our bedrooms and living rooms. Some of our units have skylights mounted on a pitch roof that will give the neighboring development a bird's eye view of our beds and bathtubs. We ask for your consideration to shift those balconies to avoid infringing on our privacy or some creative screening on the balconies on the upper levels. A high, attractive good-neighbor fence and plantings would create some nice separation at the ground level. We'd like to see more detail in the landscaping and fencing.

We ask for consideration for the massing of the building towards our property to be examined to see if rather than a "boxy" mass, is there some way to create better transition between the scales of the building. A shadow study should be carefully considered as part of the environmental study because we're concerned most of our daylighting will be taken away with such extreme height. Certainly there will be no more sunsets, no more views of the church steeple or the swaying eucalyptus trees on El Camino. Townhomes share side walls, so we rely on this side of the building facing the development for sunlight through our windows. Please closely consider whether the massive height is cohesive with the rest of the block. The proposed 55' structure would be as high as the church steeples and double the height of our roof! A 35' structure would be much more appropriate given the surrounding buildings.

Thank you for your careful consideration of our concerns.

The Primrose Gardens Homeowners Association  
[REDACTED]

on behalf of the Chircop Family, the Ko Family, the Yao Family, the Ungar Family, the De La Rosa Family and the Castillo Family.

**From:** [Public Comment](#)  
**To:** [CD/PLG-Erika Lewit](#)  
**Subject:** FW: Item 9c June 26 Planning Commission Meeting  
**Date:** Monday, June 26, 2023 7:22:54 PM

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**Kevin Gardiner AICP, Community Development Director**

City of Burlingame Community Development Department

501 Primrose Road | Burlingame, CA 94010

Tel. 650.558.7253 | Fax 650.696.3790 | [kgardiner@burlingame.org](mailto:kgardiner@burlingame.org)

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**From:** Athanasios Rebelos [REDACTED]  
**Sent:** Monday, June 26, 2023 10:24 AM  
**To:** Public Comment <[publiccomment@burlingame.org](mailto:publiccomment@burlingame.org)>  
**Subject:** Item 9c June 26 Planning Commission Meeting

Hi commissioners,

I want to express my enthusiasm for new multi-family housing inventory at 123 – 135 Primrose Rd. The section of Primrose Ave. is underdeveloped and is an underutilized section of downtown Burlingame. This is a very walkable and bikeable section of the city, and we should take full advantage of it.

Two features of the project that sound exciting to me are the rooftop terrace for residents and the secured bicycle parking.

Athan Rebelos  
Burlingame

This email is from an external source. Please take caution when clicking links or opening attachments. When in doubt, contact your IT Department



### 5.3 DESIGN STANDARDS FOR RESIDENTIAL AREAS

Residential buildings in Downtown Burlingame offer higher density development than elsewhere in the City, providing a lifestyle for those who want to live within walking distance of the Downtown commercial areas and transit opportunities. New buildings will mediate this density with thoughtful design and details that create attractive, livable residential environments. Buildings should contribute to an appealing neighborhood character and should employ recognizable residential design details such as visible residential entries, porches, bay windows and roof overhangs, and balconies and small outdoor areas.

Below are recommendations for the architectural treatment and organization of buildings and open space, and the suggested criteria for reviewing projects during the design review process.

#### 5.3.1 ARCHITECTURAL DIVERSITY

Residential projects should respect the diversity of building types and styles in the residential areas Downtown and seek to support it by applying the following principles:

- Design buildings to maintain general compatibility with the neighborhood.
- Respect the mass and fine scale of adjacent buildings even when using differing architectural styles.
- Maintains the tradition of architectural diversity, but with human scale regardless of the architectural style used.
- Create buildings with quality materials and thoughtful design to last into the future.

#### 5.3.2 PEDESTRIAN USE AND CHARACTER

##### 5.3.2.1 Entrances

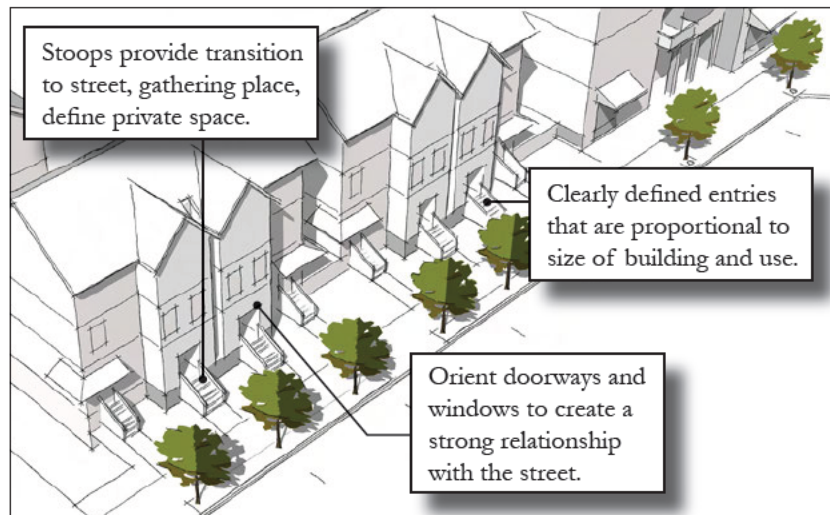
Primary pedestrian access to all ground-level uses should be from the sidewalk along the public street. Entries should be clearly defined features of front façades. Common entrances for multiple units are



**FIGURE 5-27:** Buildings should contribute to an appealing neighborhood character and should employ recognizable residential design details such as visible residential entries, porches, bay windows and roof overhangs, and balconies and small outdoor areas.



**FIGURE 5-28:** Entries should be clearly defined features of front façades, and are encouraged to have appropriately-scaled, usable gathering spaces that invite informal social interaction with neighbors.



**FIGURE 5-29:** The street-level frontage should be visually interesting with frequent unit entrances and strong orientation to the street.



**FIGURE 5-30:** Articulation, setbacks, and materials should minimize massing, break down the scale of buildings, and provide visual interest.

encouraged to have appropriately-scaled, usable gathering spaces at or adjacent to entrances that invite informal social interaction with neighbors.

#### 5.3.2.2 Ground Level Treatment

Residential development may have a finished floor elevation up to 5 feet above sidewalk level to provide more interior privacy for residents. Entry porches or stoops along the street are encouraged to bridge this change in elevation and connect these units to the sidewalk to minimize any physical separation from the street level. The street-level frontage should be visually interesting with frequent unit entrances and clear orientation to the street.

#### 5.3.2.3 Site Access

Curb cuts should be minimized to promote traffic and pedestrian safety and create cohesive landscaping and building façades. A maximum of two curb cuts should be provided for projects requiring 30 parking spaces or more; for projects with less than 30 spaces, only one curb cut should be provided. One-way driveways should have curb cuts with a fully depressed width no greater than 12 feet; two-way curb cuts should be no greater than 22 feet. On-site bicycle parking for residents is encouraged.

### 5.3.3 ARCHITECTURAL COMPATIBILITY

#### 5.3.3.1 Development Massing

The residential areas within Downtown Burlingame have a range of building heights, and so particular attention must be paid to the massing of new buildings to ensure an appropriate transition with surrounding development. Massing and street façades shall be designed to create a residential scale in keeping with Burlingame neighborhoods.



Articulation, setbacks, and materials should minimize massing, break down the scale of buildings, and provide visual interest.

### 5.3.3.2 On-Site Structured Parking

Given the density and premium land values Downtown, new projects will likely provide on-site parking in enclosed garage structures, underground, or in “semi-depressed” garages that are partially underground and partially above ground.

Parking should not be allowed to dominate the character of the project. Where enclosed parking is at ground level, it should be fronted or wrapped with habitable uses when possible. If it is not possible to fully wrap the parking, it should be incorporated into the design of the facade. Semi-depressed parking (partly below ground and partly exposed above ground) should be screened with architectural elements that enhance the streetscape such as stoops, porches, or balcony overhangs.

### 5.3.3.3 Roof Treatment

Interesting and varied roof forms are encouraged. Rooflines should emphasize and accentuate significant elements of the building such as entries, bays, and balconies. Rooftop equipment shall be concealed from view and/or integrated within the architecture of the building.

## 5.3.4 ARCHITECTURAL DESIGN CONSISTENCY

### 5.3.4.1 Facade Design

Facades should include projecting eaves and overhangs, porches, and other architectural elements that provide human scale and help break up building mass. All exposed sides of a building should be designed with the same level of care and integrity. Facades should have a variation of both positive space (massing) and negative space (plazas, inset doorways and windows).

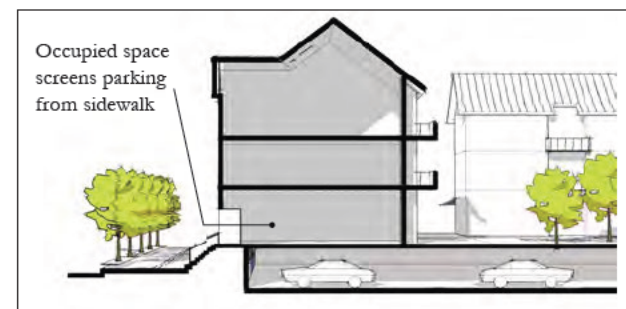
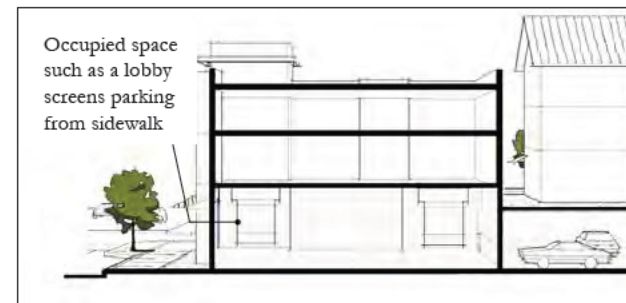


FIGURE 5-31: Where enclosed parking is at ground level, it should be fronted or wrapped with uses that can be occupied such as lobbies and living space when possible.

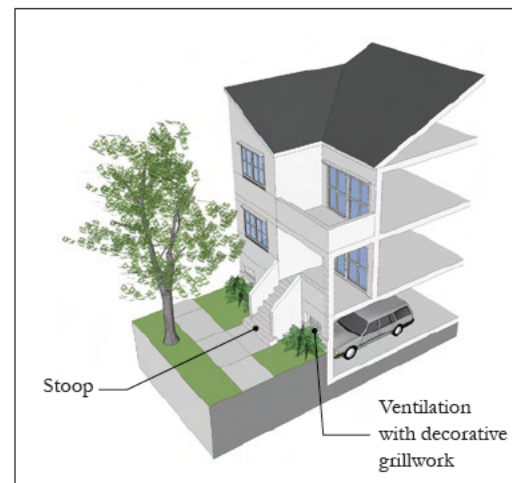
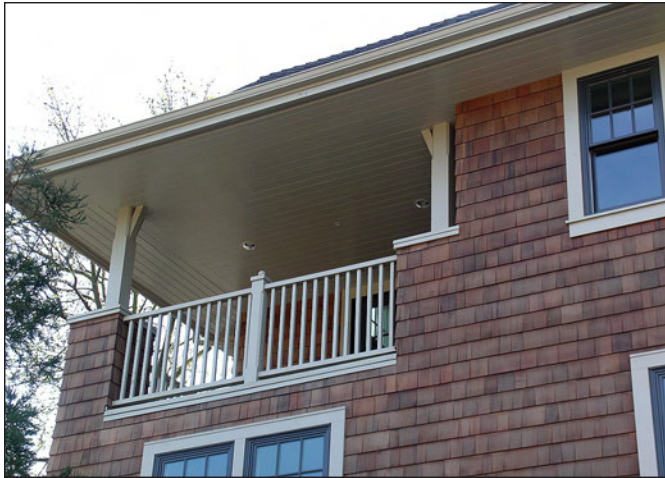


FIGURE 5-32: Semi-depressed parking should be screened with architectural elements that enhance the streetscape such as stoops, porches, or balcony overhangs.





**FIGURE 5-33:** Residential facades should include projecting eaves and overhangs, porches, and other architectural elements that provide human scale and help break up building mass.



**FIGURE 5-34:** Windows should be inset generously from the building wall to create shade and shadow detail.

Elements such as entrances, stairs, porches, bays and balconies should be visible to people on the street. Corner parcels are encouraged to incorporate features such as corner entrances, bay windows, and corner roof features, but should avoid monumentally-scaled elements such as towers.

#### 5.3.4.2 Windows

Building walls should be accented by well-proportioned openings that provide relief, detail and variation on the façade. Windows should be inset generously from the building wall to create shade and shadow detail. The use of high-quality window products that contribute to the richness, detail, and depth of the façade is encouraged. Windows with mullions should have individual window lights, rather than applied "snap-in" mullions that lack depth and are not integral to the window structure. Reflective glass is undesirable because of its tendency to create uncomfortable glare conditions and a visual barrier. Where residential uses are adjacent to each other, windows should be placed with regard to any open spaces or windows on neighboring buildings so as to protect the privacy of residents.

#### 5.3.4.3 Materials

Building materials should be richly detailed to provide visual interest. The use of materials that are reflected in the historic architecture present in the neighborhood is encouraged. Metal siding and large expanses of stucco or wood siding are also to be avoided. Roofing materials and accenting features such as canopies, cornices, tile accents, etc. should also offer color variation. Residential building materials should include quality details such as wrought iron, wood-framed windows, wood brackets and tile roofs.

### 5.3.5 SITE AMENITIES

#### 5.3.5.1 Setbacks

Table 3-2 in Chapter 3 specifies basic building standards such as setbacks and height. Building setbacks are intended to create

a transition between the hardscape, urban environment of the commercial areas and the suburban setting in the surrounding neighborhoods. Setbacks have multiple purposes, including providing sunlight, places for landscaping, and areas for activity and recreation.

Building setbacks should be appropriately landscaped to provide screening and introduce trees and plantings in this area. Landscaped setback areas should be integrated with buildings by providing openings in the building walls that connect the perimeter landscaping with interior courtyards and landscape pathways. Landscaping should be planned in relation to surrounding vegetative types with special consideration being given to native species where possible. Pathways and courtyards should be made of pervious materials to allow groundwater absorption.

#### 5.3.5.2 Open Space

Private on-site open space within the Downtown area is not intended to provide recreational space or large landscaped areas, since this is a more urban environment. However, open space is an important element for residential buildings and should be used to effectively articulate building forms, promote access to light and fresh air, and maintain privacy for Downtown residents. In residential development, most open space should be used to provide attractive amenities for residents, including interior courtyards, outdoor seating options and perimeter landscaping. Balconies and rooftop terraces are encouraged.

Where open space is situated over a structural slab, podium or rooftop it should have a combination of landscaping and high quality paving materials, including elements such as planters, medium-sized trees, and use of textured and/or colored paved surfaces. Planters may be designed to not only accommodate colorful ornamental landscaping, but could also accommodate garden plots for "urban agriculture." Trees should be selected from the City's tree list.

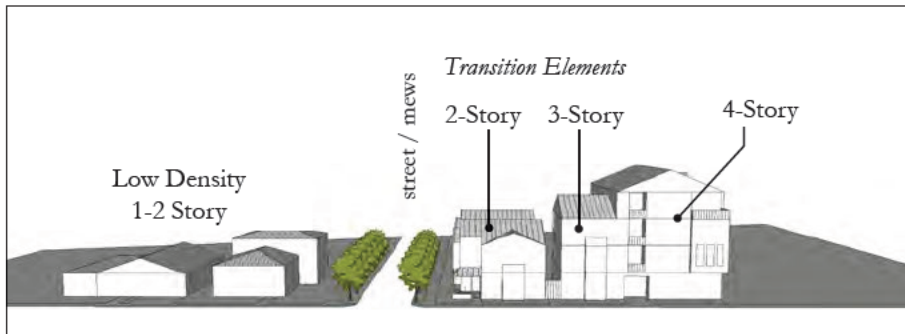


**FIGURE 5-35:** Where open space is situated over a structural slab, podium or rooftop it should have a combination of landscaping and high quality paving materials, including elements such as planters, mature trees, and urban agriculture.





**FIGURE 5-36:** Transitions of development intensity from higher density development building types to lower can be done through building types or treatments that are compatible with the lower intensity surrounding uses. Boundaries can be established by providing pedestrian paseos and mews to create separation, rather than walls or fences.



**FIGURE 5-37:** Transitions can also be made by stepping massing down within a project, with lower building elements providing a buffer between taller elements and adjacent lower-density development.

## 5.4 ADDITIONAL DESIGN STANDARDS FOR ALL AREAS OF DOWNTOWN

### 5.4.1 LAND USE TRANSITIONS

Where appropriate, when new projects are built adjacent to existing lower-scale residential development, care shall be taken to respect the scale and privacy of adjacent properties.

#### 5.4.1.1 Massing and Scale Transitions

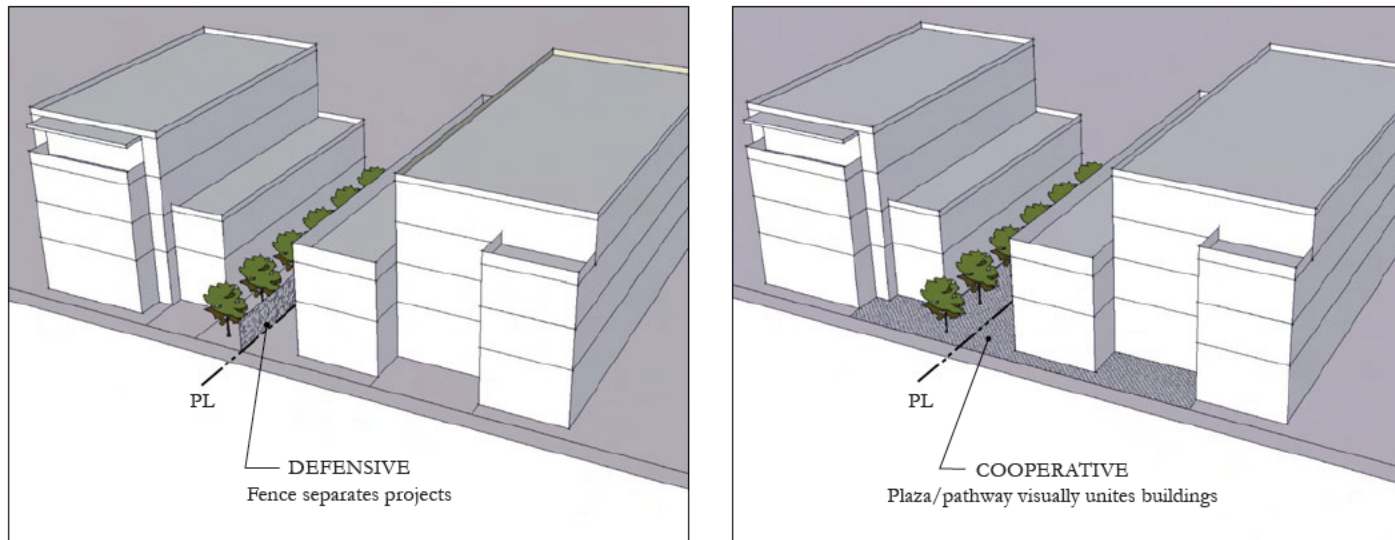
Transitions of development intensity from higher density development building types to lower can be done through different building sizes or massing treatments that are compatible with the lower intensity surrounding uses. Massing and orientation of new buildings should respect the massing of neighboring structures by varying the massing within a project, stepping back upper stories, reducing mass by composition of solids and voids, and varying sizes of elements to transition to smaller scale buildings.

#### 5.4.1.2 Privacy

Privacy of neighboring structures should be maintained with windows and upper floor balconies positioned so they minimize views into neighboring properties, minimizing sight lines into and from neighboring properties, and limiting sun and shade impacts on abutting properties.

#### 5.4.1.3 Boundaries

Where appropriate, when different land uses or building scales are adjacent, boundaries should be established by providing pedestrian paseos and mews to create separation, rather than walls or fences.

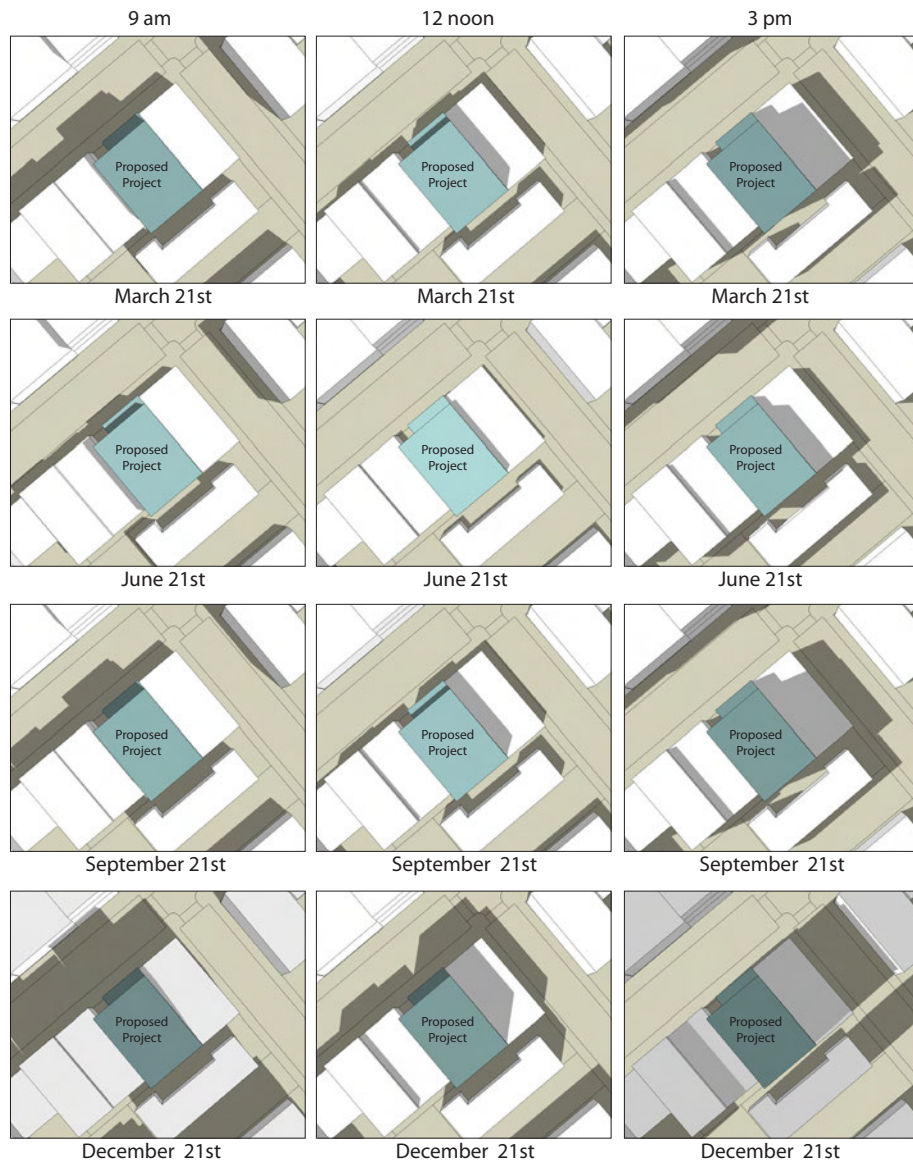


**FIGURE 5-38:** Following a cooperative, rather than defensive design approach for the spaces between buildings results in a more coherent downtown feel, as opposed to a collection of unrelated projects.



**FIGURE 5-39:** Example of two different land use intensities joined with a common paseo pathway.





**FIGURE 5-40: Sample shadow analysis shows the range of shading conditions through the year.**

#### 5.4.2 SHADOW IMPACTS

Every building invariably casts some shadows on adjoining parcels, public streets, and/or open spaces. However, as the design of a project is developed, consideration should be given to the potential shading impacts on surroundings. Site plans, massing, and building design should respond to potential shading issues, minimizing shading impacts where they would be undesirable, or conversely maximizing shading where it is desired.

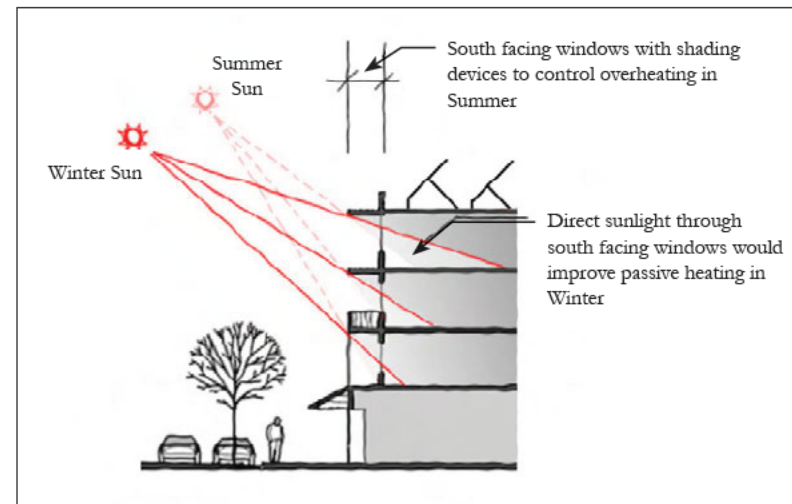
As part of the design review process, development in the Specific Plan Area that is proposed to be taller than existing surrounding structures should be evaluated for potential to create new shadows/shade on public and/or quasi-public open spaces and major pedestrian routes. At a minimum, shadow diagrams should be prepared for 9 AM, 12 noon, and 3 PM on March 21st, June 21st, September 21st, and December 21st (approximately corresponding to the solstices and equinoxes) to identify extreme conditions and trends. If warranted, diagrams could also be prepared for key dates or times of day — for example, whether a sidewalk or public space would be shaded at lunchtime during warmer months.

#### 5.4.3 SUSTAINABILITY AND GREEN BUILDING DESIGN

Project design and materials to achieve sustainability and green building design should be incorporated into projects. Green building design considers the environment during design and construction and aims for compatibility with the local environment: to protect, respect and benefit from it. In general, sustainable buildings are energy efficient, water conserving, durable and nontoxic, with high-quality spaces and high recycled content materials. The following considerations should be included in site and building design:

- Resilient, durable, sustainable materials and finishes.
- Flexibility over time, to allow for re-use and adaptation.
- Optimize building orientation for heat gain, shading, daylighting, and natural ventilation.
- Design landscaping to create comfortable micro-climates and reduce heat island effects.
- Design for easy pedestrian, bicycle, and transit access, and provide on-site bicycle parking.
- Maximize on-site stormwater management through landscaping and permeable pavement.
- On flat roofs, utilize cool/white roofs to minimize heat gain.
- Design lighting, plumbing, and equipment for efficient energy use.
- Create healthy indoor environments.
- Pursue adaptive re-use of an existing building or portion of a building as an alternative to demolition and rebuilding.
- Use creativity and innovation to build more sustainable environments. One example is establishing gardens with edible fruits, vegetables or other plants as part of project open space, or providing garden plots to residents for urban agriculture.

To reduce carbon footprint, new projects are encouraged to follow the standards and guidelines of the Leadership in Energy and Environmental Design (LEED) Green Building Rating System, developed by the U.S. Green Building Council (USGBC), and pursue LEED certification if appropriate.



**FIGURE 5-41: Use of shading devices to control solar loads in summer and gain passive heat in winter.**



**FIGURE 5-42: Minimize stormwater runoff to impermeable areas with landscaping, green roofs, and rain gardens when possible.**



**FIGURE 5-43:** Consistent with Burlingame's status as "Tree City USA," new projects are required to incorporate trees into landscape and private open space plans.

#### 5.4.4 LANDSCAPE TREES

The City of Burlingame has a long history of proactive tree planting and proper tree care. From the late 1800's when trees were planted along El Camino Real and Easton Drive to the current day, Burlingame has enjoyed the many benefits trees provide to an urban area. Burlingame's longtime commitment to trees is evidenced by recognition as a "Tree City USA" for 30 consecutive years. This is the longest streak in the County, 5th longest in the State and one of the longest in the Country for receiving this award.

In Downtown Burlingame, trees include street trees lining sidewalks and roadways (typically within the public right-of-way), as well as trees on private property in settings such as landscaped setback areas, courtyards, and roof gardens.

Chapter 4: Streetscapes & Open Space) provides guidance for street trees within the public right-of-way. Landscape trees on private property have equal importance as part of the "urban forest," in contributing environmental and aesthetic benefits to downtown. Trees are important for their beauty, shade and coolness, economic benefits, and role in reducing energy use, pollution, and noise.

The City of Burlingame has an Urban Forest Management Plan that includes policies and management practices for both city and private trees. Maintaining existing trees is a priority, and large trees on private property are protected by City Ordinance. Any tree with a circumference of 48 inches or more when measured 54 inches above the ground is a "Protected Tree." A permit is required to remove or heavily prune a protected tree.

Consistent with Burlingame's status as "Tree City USA," new projects are required to incorporate trees into landscape and private open space plans. Property owners should consult the Burlingame Urban Forest Management Plan for design considerations, planting techniques, and maintenance guidance.



#### 5.4.5 PRESERVATION OF HISTORIC BUILDINGS

Downtown Burlingame is the symbolic and historic center of the City. The vision for Downtown is to preserve the mix of buildings, the pedestrian-scaled environment and the carefully designed public spaces that contribute to its special community character. Downtown's flexible and timeless late 19<sup>th</sup> and early 20<sup>th</sup> Century buildings contribute historic character and distinctiveness to this desirable pattern and mix of buildings. New buildings should be sensitive to the historic scale and architecture of Downtown.

Historic preservation and adaptive re-use is encouraged both to maintain the unique ambience of Downtown Burlingame but also for ecological benefits. Preservation maximizes the use of existing materials and infrastructure, reduces waste, and preserves historic character. Historic buildings were often traditionally designed with many sustainable features that responded to climate and site, and when effectively restored and reused, these features can bring about substantial energy savings.

The guidelines in this chapter, together with the *Commercial Design Guidebook* for commercial and mixed use developments and the *Inventory of Historic Resources* are intended to ensure that both new development and improvements to existing properties are compatible with the historical character of Downtown and will be the basis of design review.

Where a building is described in the *Inventory of Historic Resources*, the inventory should be consulted as part of the design review. Building characteristics described in the inventory should be a consideration in project design and review, together with other design considerations described in this chapter and in the *Commercial Design Guidebook*.



**FIGURE 5-44:** Downtown's late 19th and early 20th Century buildings contribute historic character and distinctiveness to this desirable pattern and mix of buildings.

**RESOLUTION APPROVING CATEGORICAL EXEMPTION, DESIGN REVIEW AND SPECIAL PERMIT**

RESOLVED, by the Planning Commission of the City of Burlingame that:

WHEREAS, a Categorical Exemption has been prepared and application has been made for a Design Review, and a Special Permit for building height for construction of a new, 14-unit multi-unit residential apartment building at 123-135 Primrose Road, Zoned HMU, Albert and Theresa Wong Trust and Sylvia Wong Trust, property owners, APNs: 029-221-040, 029-221-050;

WHEREAS, said matters were heard by the Planning Commission of the City of Burlingame on July 10, 2023, at which time it reviewed and considered the staff report and all other written materials and testimony presented at said hearing;

NOW, THEREFORE, it is RESOLVED and DETERMINED by this Planning Commission that:

1. On the basis of the Initial Study and the documents submitted and reviewed, and comments received and addressed by this Commission, it is hereby found that there is no substantial evidence that the project set forth above will have a significant effect on the environment, and categorical exemption, per CEQA Section 15332, In-Fill Development Projects, is hereby approved.
2. Said Design Review and Special Permit are approved subject to the conditions set forth in Exhibit "A" attached hereto. Findings for such Design Review and Special Permit are set forth in the staff report, minutes, and recording of said meeting.
3. It is further directed that a certified copy of this resolution be recorded in the official records of the County of San Mateo.

\_\_\_\_\_  
Chairperson

I, \_\_\_\_\_, Secretary of the Planning Commission of the City of Burlingame, do hereby certify that the foregoing resolution was introduced and adopted at a regular meeting of the Planning Commission held on the 10th day of July, 2023, by the following vote:

\_\_\_\_\_  
Secretary

## EXHIBIT "A"

Conditions of Approval for Categorical Exemption, Design Review, and Special Permit  
**123-135 Primrose Road**  
Effective **July 20 , 2023**  
Page 1

1. that the project shall be built as shown on the plans submitted to the Planning Division date stamped May 31, 2023, sheets A0.1 through A5.2a, C1 through C8, and L1.0 and L2.0; and that the gate to the garage shall remain open/ up during daylight hours;
2. that prior to issuance of a building permit for construction of the project, the project construction plans shall be modified to include a cover sheet listing all conditions of approval adopted by the Planning Commission, or City Council on appeal; which shall remain a part of all sets of approved plans throughout the construction process. Compliance with all conditions of approval is required; the conditions of approval shall not be modified or changed without the approval of the Planning Commission, or City Council on appeal;
3. that prior to issuance of a building permit for the project, the applicant shall pay the Residential Impact Fees (final fee amount to be calculated based on the fee schedule in effect at the time the building permit is issued), made payable to the City of Burlingame and submitted to the Planning Division;
4. that prior to issuance of a building permit for the project, the applicant shall pay the first half of the Public Facilities Impact fee (fee amount to be calculated based on the fee schedule in effect at the time the building permit is issued), made payable to the City of Burlingame and submitted to the Planning Division;
5. that prior to scheduling the final framing inspection for the apartment building, the applicant shall pay the second half of the Public Facilities Impact fee (fee amount to be calculated based on the fee schedule in effect at the time the building permit is issued), made payable to the City of Burlingame and submitted to the Planning Division;
6. that any changes to the size or envelope of the building, which would include expanding the footprint or floor area of the structure, replacing, or relocating windows or changing the roof height or pitch, shall be subject to Planning Commission review (FYI or amendment to be determined by Planning staff);
7. that the maximum elevation at the top of the parapet shall not exceed elevation 89.65' and that the top of the two stair enclosures shall not exceed elevation 96.48' as measured from the average elevation at the top of the curb along Park Road (38.05'), for a maximum height to parapet of 51'-7" and a maximum height to top of stair enclosures of 58'-5"; that the top of each floor and final roof parapet height and the final stair enclosure heights shall be surveyed and approved by the City Engineer as the framing proceeds and prior to final framing and roofing inspections. The garage/first floor finished floor elevation shall be elevation 38.25'; second floor finished floor shall be elevation 52.42'; third floor finished floor shall be elevation 63.27'; and fourth floor finished floor shall be elevation 74.19'. Should any framing exceed the stated elevation at any point it shall be removed or adjusted so that the final height of the structure with roof shall not exceed the maximum height shown on the approved plans;



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8. that the applicant shall coordinate with the City of Burlingame Parks Division regarding the installation of the street trees along Primrose Road;
9. that if the City determines that the structure interferes with City communications in the City, the property owner shall permit public safety communications equipment and a wireless access point for City communications to be located on the structure in a location to be agreed upon by the City and the property owner. The applicant shall provide an electrical supply source for use by the equipment. The applicant shall permit authorized representatives of the City to gain access to the equipment location for purposes of installation, maintenance, adjustment, and repair upon reasonable notice to the property owner or owner's successor in interest. This access and location agreement shall be recorded in terms that convey the intent and meaning of this condition;
10. that during construction, the applicant shall provide fencing (with a fabric screen or mesh) around the project site to ensure that all construction equipment, materials, and debris is kept on site;
11. that storage of construction materials and equipment on the street or in the public right-of-way shall be prohibited;
12. that the trash receptacles, furnaces, and water heaters shall be shown in a legal compartment outside the required parking and landscaping and in conformance with zoning and California Building and Fire Code requirements before a building permit is issued;
13. that all runoff created during construction and future discharge from the site shall be required to meet National Pollution Discharge Elimination System (NPDES) standards;
14. that the applicant shall submit an erosion and sedimentation control plan describing BMPs (Best Management Practices) to be used to prevent soil, dirt and debris from entering the storm drain system; the plan shall include a site plan showing the property lines, existing and proposed topography and slope; areas to be disturbed, locations of cut/fill and soil storage/disposal areas; areas with existing vegetation to be protected; existing and proposed drainage patterns and structures; watercourse or sensitive areas on-site or immediately downstream of a project; and designated construction access routes, staging areas and washout areas;
15. The Project sponsor shall ensure implementation of the following BMPs during Project construction, in accordance with the BAAQMD's standard requirements:
  - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
  - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.

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- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
  - d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour.
  - e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (California Code of Regulations [CCR] Title 13 § 2485). Clear signage regarding idling restrictions shall be provided for construction workers at all access points.
  - g. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
  - h. The prime construction contractor shall post a publicly visible sign with the telephone number and person to contact at the City of Burlingame regarding dust complaints. The City of Burlingame and the construction contractor shall take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.
16. that methods and procedures such as sediment basins or traps, silt fences, straw bale dikes, storm drain inlet protection such as soil blanket or mats, and covers for soil stockpiles to stabilize denuded areas shall be installed to maintain temporary erosion controls and sediment control continuously until permanent erosion controls have been established;
17. that construction access routes shall be limited to prevent the tracking of dirt onto the public right-of-way, clean off-site paved areas and sidewalks using dry sweeping methods;
18. that if construction is done during the wet season (October 1 through April 30), that prior to October 1 the developer shall implement a winterization program to minimize the potential for erosion and polluted runoff by inspecting, maintaining and cleaning all soil erosion and sediment control prior to, during, and immediately after each storm even; stabilizing disturbed soils throughout temporary or permanent seeding, mulching matting, or tarping; rocking unpaved vehicle access to limit dispersion of mud onto public right-of-way; covering/tarping stored construction materials, fuels and other chemicals;
19. that the applicant shall prepare a construction staging and traffic control plan for the duration of construction for review and acceptance by the City Engineer prior to the issuance of a building permit; the construction staging plan shall include construction

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equipment parking, construction employee parking, timing, and duration of various phases of construction and construction operations hours; the staging plan shall address public safety and shall ensure that worker's vehicles and construction equipment shall not be parked in public parking areas with exceptions for construction parking along the street frontages of the project site;

20. that trash enclosures and dumpster areas shall be covered and protected from roof and surface drainage and that if water cannot be diverted from these areas, a self-contained drainage system shall be provided that discharges to an interceptor;
21. that all new utility connections to serve the site, and which are affected by the development, shall be installed to meet current code standards and local capacities of the collection and distribution systems shall be increased at the developer's expense if necessary;
22. that demolition or removal of the existing structures and any grading or earth moving on the site shall not occur until a building permit has been issued and such site work shall be required to comply with all the regulations of the Bay Area Air Quality Management District unless applicant produces evidence, to the satisfaction of the Community Development Director, that special circumstances exist that warrant early demolition, in accordance with the provisions of the Burlingame Municipal Code Chapter 18.07.065;
23. that the applicant shall install fire sprinklers and a fire alarm system monitored by an approved central station prior to the final inspection for building permit;
24. that all construction shall abide by the construction hours established in the Municipal Code;
25. that the project shall comply with the Construction and Demolition Debris Recycling Ordinance which requires affected demolition, new construction, and alteration projects to submit a Waste Reduction plan and meet recycling requirements; any partial or full demolition of a structure, interior or exterior, shall require a demolition permit;
26. that the project shall be required to comply with all the standards of the California Building and Fire Codes, in effect at time of building permit issuance, as amended by the City of Burlingame;
27. that construction methods shall not include the use of impact, sonic, or vibratory pile driving methods. In addition, foundation compaction techniques shall exclude the use of vibratory rollers on the project site and shall exclude the use of all vibration-compaction equipment within 25-feet of the project boundaries.

Alternate methods of compaction to be used shall include the use of back-hoe mounted, nonvibratory, sheepsfoot rollers, or the use of hand-controlled jump-jack compactors, or similar low- or non-vibratory compaction equipment.



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28. that the applicant shall provide a Construction Vibration Management Plan which shall include a list of all heavy construction equipment to be used on the project site that are known to produce high vibration levels (tracked vehicles, vibratory compaction, jackhammers, hoe rams, etc.) to the Community Development Director or the Director's designee. This list shall be used to identify equipment and activities that would potentially generate substantial vibration and to define the level of effort required for continuous vibration monitoring to ensure the project would not exceed acceptable thresholds.

***The following four (4) conditions shall be met during the Building Inspection process prior to the inspections noted in each condition:***

29. that prior to scheduling the foundation inspection a licensed surveyor shall locate the property corners, set the building envelope;
30. that prior to scheduling the framing inspection, the project architect, engineer, or other licensed professional shall provide architectural certification that the architectural details such as window locations and bays are built as shown on the approved plans; if there is no licensed professional involved in the project, the property owner or contractor shall provide the certification under penalty of perjury. Certifications shall be submitted to the Building Department;
31. that prior to scheduling the roof deck inspection, a licensed surveyor shall shoot the height of the roof ridge and provide certification of that height to the Building Division; and
32. that prior to final inspection, Planning Division staff will inspect and note compliance of the architectural details (trim materials, window type, etc.) to verify that the project has been built according to the approved Planning and Building plans.

***The following conditions of approval are from Downtown Specific Plan:***

33. the project sponsor shall implement all appropriate control measures from the most currently adopted air quality plan at the time of project construction;
34. the project sponsor shall implement the following Greenhouse Gas reduction measures during construction activities:
  - a. Alternative-Fueled (e.g., biodiesel, electric) construction vehicles/equipment shall make up at least 15 percent of the fleet.
  - b. Use at least 10 percent local building materials.
  - c. Recycle at least 50 percent of construction waste or demolition materials.

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35. the project sponsor shall provide adequate secure bicycle parking in the plan area at a minimum ratio of 1 bicycle spot for every 20 vehicle spots;
36. the project sponsor shall incorporate residential energy efficiency measures such that energy efficiency is increased to 15% beyond 2008 title 24 standards for electricity and natural gas;
37. the project sponsor shall incorporate recycling measures and incentives such that a solid waste diversion rate of 75% is achieved upon occupation of each phase of plan development;
38. the project sponsor shall incorporate residential and commercial water efficiency measures such that water consumption is decreased by a minimum of 10 percent over current standard water demand factors;
39. that construction shall avoid the March 15 through August 31 avian nesting period to the extent feasible. If it is not feasible to avoid the nesting period, a survey for nesting birds shall be conducted by a qualified wildlife biologist no earlier than 7 days prior to construction. The area surveyed shall include all clearing/construction areas, as well as areas within 250 ft. of the boundaries of these areas, or as otherwise determined by the biologist. In the event that an active nest is discovered, clearing/construction shall be postponed within 250 ft. of the nest, until the young have fledged (left the nest), the nest is vacated, and there is no evidence of second nesting attempts;
40. that for projects within the Plan Area that require excavation, a Phase I Environmental Site Assessment (and Phase II sampling, where appropriate) would be required. If the Phase I Environmental Site Assessment determines that remediation is required, the project sponsor would be required to implement all remediation and abatement work in accordance with the requirements of the Department of Toxic Substances Control (DTSC), Regional Water Quality Control Board (RWQCB), or other jurisdictional agency;
41. that the following practices shall be incorporated into the construction documents to be implemented by the project contractor.
  - a. Maximize the physical separation between noise generators and noise receptors. Such separation includes, but is not limited to, the following measures:
    - Use heavy-duty mufflers for stationary equipment and barriers around particularly noisy areas of the site or around the entire site; - Use shields, impervious fences, or other physical sound barriers to inhibit transmission of noise to sensitive receptors;
    - Locate stationary equipment to minimize noise impacts on the community; and
    - Minimize backing movements of equipment.
  - b. Use quiet construction equipment whenever possible.

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- c. Impact equipment (e.g., jack hammers and pavement breakers) shall be hydraulically or electrically powered wherever possible to avoid noise associated with compressed air exhaust from pneumatically-powered tools. Compressed air exhaust silencers shall be used on other equipment. Other quieter procedures, such as drilling rather than using impact equipment, shall be used whenever feasible.
42. the project sponsor shall incorporate the following practice into the construction documents to be implemented by construction contractors: The project sponsor shall require that loaded trucks and other vibration-generating equipment avoid areas of the project site that are located near existing residential uses to the maximum extent compatible with project construction goals;
43. that if the project increases sewer flows to the sanitary sewer system, the project sponsor shall coordinate with the City Engineer to determine if improvements to public sanitary sewer infrastructure are needed. If improvements are needed, the following shall apply:
- that prior to issuance of a building permit, the project sponsor shall develop a plan to facilitate sanitary sewer improvements. The plan shall include a schedule for implementing sanitary sewer upgrades that would occur within the development site and/or contribution of a fair share fee toward those improvements, as determined by the City Engineer. The plan shall be reviewed by the City Engineer.
44. that prior to issuance of a building permit, the development plans shall be reviewed by the Fire Marshal to determine if fire flow requirements would be met given the requirements of the proposed project, and the size of the existing water main(s). If the Fire Marshal determines improvements are needed for fire protection services, then the following shall apply:
- that prior to issuance of a building permit the project sponsor shall be required to provide a plan to supply adequate water supply for fire suppression to the project site, consistent with the Fire Marshal's requirements. The plan shall be reviewed by the Fire Marshal. The project sponsor shall be responsible for implementation of the plan including installation of new water mains, and/or incorporation of fire water storage tanks and booster pumps into the building design, or other measures as determined by the Fire Marshal.
45. that if evidence of an archeological site or other suspected cultural resource as defined by CEQA Guidelines Section 15064.5, including darkened soil representing past human activity ("midden"), that could conceal material remains (e.g., worked stone, worked bone, fired clay vessels, faunal bone, hearths, storage pits, or burials) is discovered during construction-related earth-moving activities, all ground-disturbing activity within 100 feet of the resources shall be halted and the City of Burlingame shall be notified. The project sponsor shall hire a qualified archaeologist to conduct a field investigation. The City of Burlingame shall consult with the archeologist to assess the significance of the find. Impacts to any significant resources shall be mitigated to a less-than significant level through data recovery or other methods determined adequate by a qualified



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archaeologist and that are consistent with the Secretary of the Interior's Standards for Archeological Documentation. Any identified cultural resources shall be recorded on the appropriate DPR 523 (A-J) form and filed with the NWIC;

46. that should a unique paleontological resource or site or unique geological feature be identified at the project construction site during any phase of construction, the project manager shall cease all construction activities at the site of the discovery and immediately notify the City of Burlingame. The project sponsor shall retain a qualified paleontologist to provide an evaluation of the find and to prescribe mitigation measures to reduce impacts to a less-than-significant level. Work may proceed on other parts of the project site while mitigation for paleontological resources or geologic features is carried out. The project sponsor shall be responsible for implementing any additional mitigation measures prescribed by the paleontologist and approved by the City; and
47. that if human remains are discovered at any project construction site during any phase of construction, all ground-disturbing activity within 100 feet of the resources shall be halted and the City of Burlingame and the County coroner shall be notified immediately, according to Section 5097.98 of the State Public Resources Code and Section 7050.5 of California's Health and Safety Code. If the remains are determined by the County coroner to be Native American, the Native American Heritage Commission (NAHC) shall be notified within 24 hours, and the guidelines of the NAHC shall be adhered to in the treatment and disposition of the remains. The project sponsor shall also retain a professional archaeologist with Native American burial experience to conduct a field investigation of the specific site and consult with the Most Likely Descendant, if any, identified by the NAHC. As necessary, the archaeologist may provide professional assistance to the Most Likely Descendant, including the excavation and removal of the human remains. The City of Burlingame shall be responsible for approval of recommended mitigation as it deems appropriate, taking account of the provisions of State law, as set forth in CEQA Guidelines section 15064.5(e) and Public Resources Code Section 5097.98. The project sponsor shall implement approved mitigation, to be verified by the City of Burlingame before the resumption of ground-disturbing activities within 100 feet of where the remains were discovered.



CITY OF BURLINGAME  
COMMUNITY DEVELOPMENT DEPARTMENT  
501 PRIMROSE ROAD  
BURLINGAME, CA 94010  
PH: (650) 558-7250  
[www.burlingame.org](http://www.burlingame.org)

**Project Site: 123-135 Primrose Road, zoned HMU**

The City of Burlingame Planning Commission announces the following public hearing **on Monday, July 10, 2023 at 7:00 P.M.** You may attend the meeting in person at City Hall (501 Primrose Rd) or online at [www.zoom.us/join](http://www.zoom.us/join) or by phone at (346) 248-7799:

Meeting ID: 898 9544 1663	Passcode: 564262
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**Description:** Application for Design Review, Special Permit for height, and Lot Combination for a new four-story, 14-unit multi-unit residential apartment building.

Members of the public may speak at the meeting or provide comments by email to [publiccomment@burlingame.org](mailto:publiccomment@burlingame.org).

For more information, please visit [www.burlingame.org/pcmeetings](http://www.burlingame.org/pcmeetings)

Mailed: June 30, 2023

*(Please refer to other side)*

## **PUBLIC HEARING NOTICE**

### **City of Burlingame - Public Hearing Notice**

If you have any questions about this application or would like to schedule an appointment to view a hard copy of the application and plans, please send an email to [planningdept@burlingame.org](mailto:planningdept@burlingame.org) or call (650) 558-7250.

Individuals who require special assistance or a disability-related modification or accommodation to participate in this meeting, or who have a disability and wish to request an alternative format for the agenda, meeting notice, agenda packet or other writings that may be distributed, should contact the Planning Division at [planningdept@burlingame.org](mailto:planningdept@burlingame.org) or (650) 558-7250 by 10 am on the day of the meeting.

If you challenge the subject application(s) in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in the notice or in written correspondence delivered to the city at or prior to the public hearing.

Property owners who receive this notice are responsible for informing their tenants about this notice.

Kevin Gardiner, AICP  
Community Development Director

*(Please refer to other side)*



**123-135 Primrose Road**

**500' noticing**

**APNs: 029-221-050 & 029-221-040**

